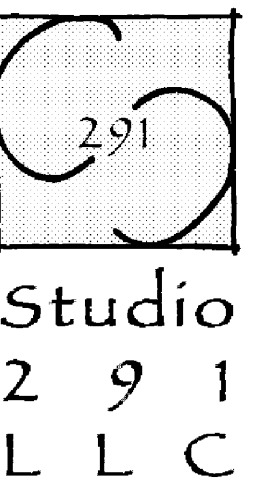


# GARAGE ADDITION

1754 CENTRAL AVE., SULLIVAN'S ISLAND, SOUTH CAROLINA  
TMS # 523-08-00-003



295 Seven Farms Drive  
Suite G-174  
Charleston, South Carolina 29492  
P. (843) 919-8947

This drawing and the design shown  
is the property of Studio 291, LLC.  
The reproduction, copying or other  
use of this drawing without the  
written consent is prohibited and  
any infringement will be subject to  
legal action.

© 2023  
Studio 291, LLC

## DRAWING INDEX

- T1 - TITLE SHEET
- C1 - PREVIOUSLY APPROVED SITE PLAN
- C2 - PROPOSED SITE PLAN
- A1 - DETACHED GARAGE PLANS & ELEVATIONS
- A2 - PROPOSED GARAGE ELEVATIONS W/ HOUSE
- A3 - TYPICAL DETAILS

## ABBREVIATIONS

- A.C.: ABOVE COUNTER
- TYP.: TYPICAL
- A.F.F.: ABOVE FINISH FLOOR
- ELEV.: ELEVATION
- F.P.: FROST PROOF
- H.W.H.: HOT WATER HEATER
- W.W.F.: WELDED WIRE FABRIC
- R.: RISERS
- P.T.: PRESSURE TREATED
- REF.: REFRIGERATOR
- D/W: DISHWASHER
- M/W: MICROWAVE
- D.S.: DOWNSPOUT
- PREFIN.: PREFINISHED
- ALUMN.: ALUMINUM
- CONC.: CONCRETE
- ARCH.: ARCHITECTURAL
- DTL.: DETAIL
- C.J.: CEILING JOIST
- R.R.: ROOF RAFTER
- DBL.: DOUBLE
- G.W.B.: DRYWALL
- G.Y.P.: DRYWALL
- B.F.E.: BASE FLOOD ELEVATION
- WP : WATERPROOF
- CONT.: CONTINUOUS
- T.: TEMPERED
- CTR.: CENTER

## GENERAL NOTES

DRAWINGS SHALL BE CONSIDERED DIAGRAMMATIC AND THEREFORE NEVER BE SCALED. WRITTEN OR NOTED DIMENSIONS SHALL BE FOLLOWED TO INDUSTRY STANDARDS. WHERE DIMENSIONS ARE NOT FOUND OR ARE UNCLEAR, CONTRACTOR SHALL CONTACT DESIGNER FOR CLARIFICATION.

CONTRACTOR SHALL CHECK DRAWINGS AND SPECIFICATIONS AND NOTIFY DESIGNER OF OMISSIONS OR DISCREPANCIES PRIOR TO THE START OF ANY WORK.

CONTRACTOR SHALL INSURE ALL WORK COMPLIES WITH APPLICABLE CODES, REGULATIONS, AND LAWS.

CONTRACTOR SHALL TAKE ANY MEASURE NECESSARY TO PROTECT ADJACENT PROPERTIES AND STRUCTURES ON PROJECT PROPERTY NOT SPECIFICALLY STATED TO BE MODIFIED OR REMOVED. CONTRACTOR SHALL REPAIR ANY DAMAGE RESULTING FROM CONSTRUCTION, AT NO CHARGE TO HOME OWNER OR DESIGNER.

CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED FOR COMPLETED PROJECT, INCLUDING BUT NOT LIMITED TO CONNECTIONS TO PUBLIC UTILITIES, WELLS, SEPTIC SYSTEMS WHERE APPLICABLE.

IF CONTRADICTIONS ARE FOUND BETWEEN SPECIFICATIONS AND DRAWINGS AFTER THE START OF WORK, EITHER APPLICATION MAY BE STIPULATED BY THE DESIGNER AT NO ADDITIONAL CHARGE TO THE HOME OWNER OR DESIGNER.

CLARIFICATION DETAILS REQUESTED BY CONTRACTOR AFTER START OF WORK SHALL BE COMPLIED WITH AS PART OF BASE BID.

REQUESTS FOR SUBSTITUTIONS OF METHODS OR MATERIALS SHALL BE SUBMITTED TO DESIGNER IN WRITING PRIOR TO THE START OF RELATED WORK. WHERE COST DIFFERENCES OCCUR, QUOTES OR ESTIMATES SHALL BE SUBMITTED.

ALL CHANGE ORDER REQUESTS SHALL BE APPROVED IN ADVANCE AND BE ACCOMPANIED BY QUOTES OR ESTIMATES.

ALL DOORS AND WINDOWS ARE TO BE INSTALLED PER MANUFACTURER SPECS. SEE MANUFACTURER'S SHOP DRAWINGS FOR INSTALLATION AND FLASHING DETAILS. REFER TO MFR. R.O. PRIOR TO FRAMING.

ALL EXTERIOR MATERIALS – SIDING AND TRIM, STUCCO CONVENTIONAL AND ROOFING – SHALL BE INSTALLED PER MANUFACTURER'S SPECS AND RECOMMENDATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE SHOP DRAWINGS AND MANUFACTURE SPECIFICATION FOR INSTALLATION, AS WELL AS OVERSEEING THE INSTALLATION AND OR APPLICATION.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS REQUIRED FOR PROJECT COMPLETION.

CONTRACTOR TO PROVIDE "ICE & WATER SHIELD" WINDOW FLASHING AT ALL WINDOWS AND DOORS.

THE GENERAL CONTRACTOR SHALL HOLD HARMLESS THE DESIGNER AND HIS AGENTS AGAINST LOSS, DAMAGE, LIABILITY, OR ANY EXPENSE ARISING IN ANY MANNER FROM THE WRONGFUL OR NEGLIGENCE OF THE CONTRACTOR AND INDEPENDENT CONTRACTORS AND THEIR RESPECTIVE EMPLOYEES



ISSUED FOR CONSTRUCTION

OWNERS SIGNATURE: \_\_\_\_\_

CONTRACTORS SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

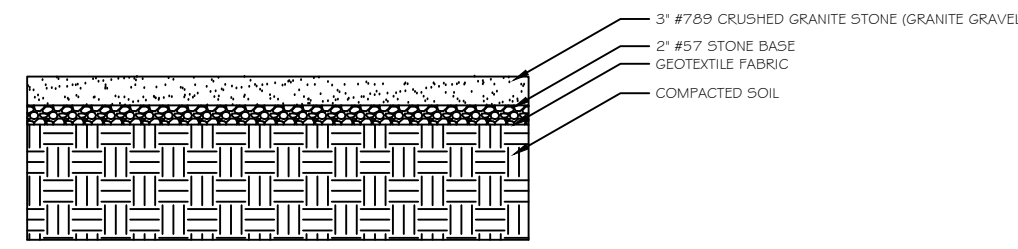
Project  
Addition & Renovation @  
1754 Central Ave., Sullivan's Island South Carolina

Sheet Title  
TITLE SHEET

D. P. in Charge  
J. ADRIAN  
Job Captain  
J. ADRIAN  
Drawn By  
JAA  
Date Drawn  
1/18/24  
Issued for Pricing  
X  
Issued for Permit  
XXX  
Revisions  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_  
Issue Date XXXX

Project Number  
22-291-888

Sheet 1 of 6  
T1



2 DRIVEWAY SECTION  
SCALE: 1/2" = 1'-0"

LEGEND	SYMBOL
PROPERTY BOUNDARY / RIGHT-OF-WAY	---
OVERHEAD POWER	---
SEWER PIPE	---
STORM DRAIN PIPE	---
DITCH	---
EXISTING CONTOUR	48.0
EXISTING ELEVATION	47.50
PIPE INVERT ELEVATION	49.07
CONCRETE	---
ASPHALT	---
GRAVEL	---
PP	POWER POLE
RCP	REINFORCED CONCRETE PIPE
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED PLASTIC PIPE
IE	INVERT ELEVATION

PRINCIPAL BUILDING COVERAGE

TOTAL LOT AREA - 1/3 AC 16,047 SQFT  
 PRINCIPAL BUILDING COVERAGE = LOT AREA x 15%  
 PRINCIPAL BUILDING COVERAGE = 16,047 x 15%  
 PRINCIPAL BUILDING COVERAGE = 2,407 SQFT  
 PRINCIPAL BUILDING COVERAGE MAX RELIEF 20% = 481 SQFT  
 MAX. PRINCIPAL BUILDING COVERAGE 2,888 SQFT

NEED 10.7% INCREASE OR 258 SQFT  
 EXISTING HOUSE 1,290 SQFT  
 PROPOSED ADDITION 1,375 SQFT  
 PROPOSED ACCESSORY 610 SQFT  
 TOTAL BUILDING COVERAGE 3,275 SQFT

PERMITTED PRINCIPAL BUILDING AREA

TOTAL LOT AREA 1/3 AC 16,047 SQFT  
 $2,400 + ((16,047 - 5,000) / 100) \times 10$   
 $2,400 + ((16,047 - 5,000) / 100) \times 10$   
 $2,400 + (11,047 / 100) \times 10$   
 $2,400 + 110.47 \times 10$   
 $2,400 + 1,105$   
 3,505 SQFT MAX AREA  
 MAX RELIEF - 25% = 876 SQFT  
 MAX PRINCIPAL BUILDING AREA 4,381 SQFT

3,530 SQFT HEATED  
 INCREASE REQUIRED FOR 25 SQFT OR 0.7%

LOT COVERAGE

TOTAL LOT AREA 16,047 SQFT  
 ALLOWABLE COVERAGE @30% 4,814 SQFT  
 EXISTING HOUSE 1,290 SQFT  
 PROPOSED ADDITION 1,375 SQFT  
 EXISTING CISTERN 231 SQFT  
 EXISTING PORCHES 264 SQFT  
 PROPOSED PORCHES 494 SQFT  
 PROPOSED STAIRS 26 SQFT  
 EXISTING WALKWAY 138 SQFT  
 PROPOSED POOL 368 SQFT  
 PROPOSED POOL DECK 880 SQFT  
 TOTAL COVERAGE 4,789 SQFT  
 TOTAL COVERAGE % 29.8%  
 PROPOSED ACCESSORY 610 SQFT

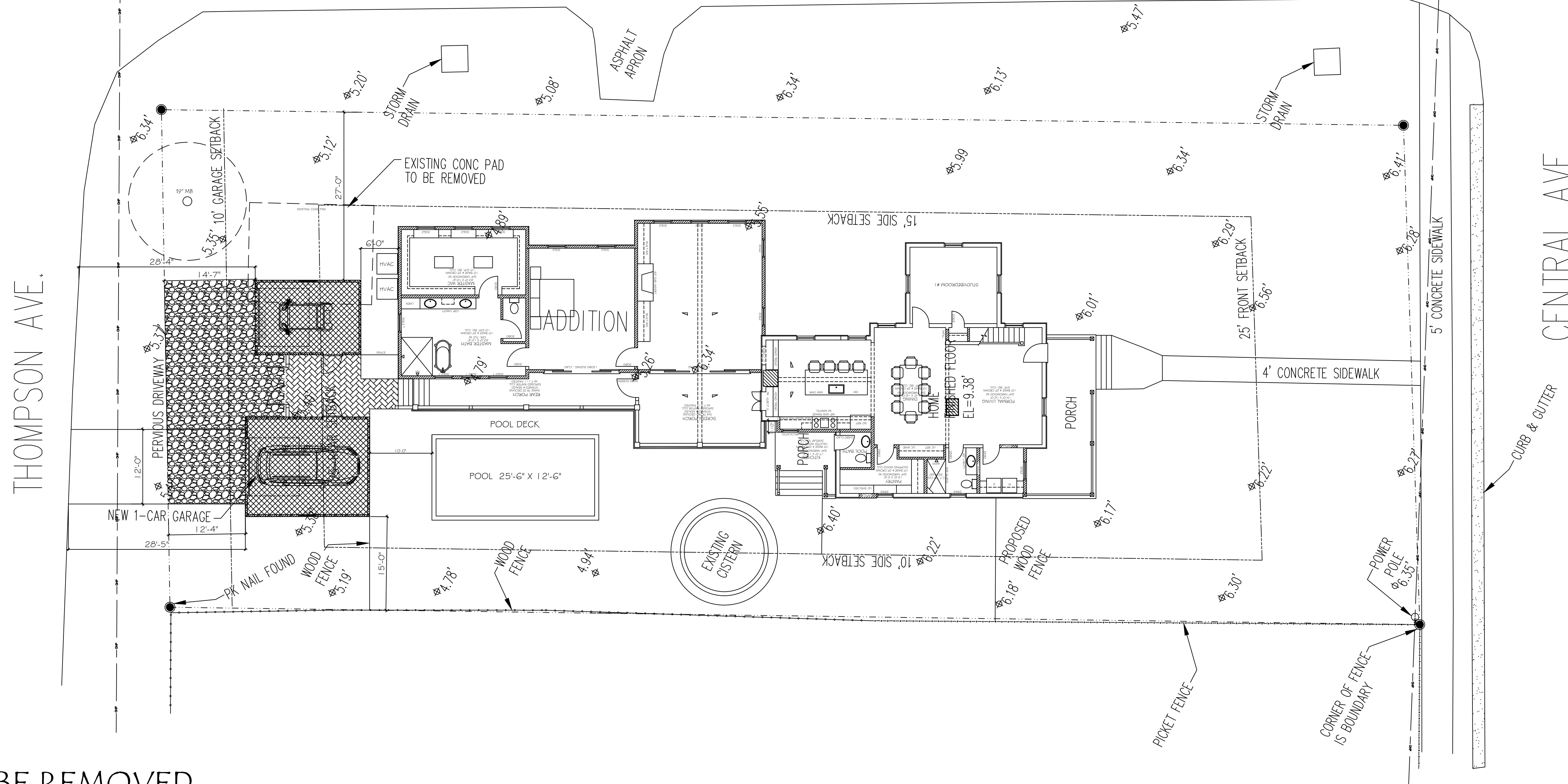
NATURAL VEGETATION RATIO:

TOTAL LOT AREA = 16,047 SQFT  
 TOTAL COVERAGE (STRUCTURE, POOL, CISTERN ETC) = 4,925 SQFT  
 PERCENTAGE OF NATURAL VEGETATION = 69.3%

Station 18

HARDSCAPE HOLD HARMLESS AGREEMENT

AUTHORIZATION OF THIS WORK IN THE SCDOT RIGHT-OF-WAY IN NO WAY IMPLIES THE ADJACENT PROPERTY OWNER(S) ABILITY TO OBSTRUCT PUBLIC PARKING; OR, INSTALL SIGNAGE TO OBSTRUCT OR PROHIBIT PARKING; OR RELOCATE EXISTING DRIVEWAYS / ACCESS WITHOUT PRIOR BUILDING DEPARTMENT APPROVAL; OR, PROHIBIT GENERAL PUBLIC USE OF THIS NEWLY ESTABLISHED SURFACE. A SIGNED WAIVER MUST BE HELD BY THE TOWN WITH THIS PERMIT TO ESTABLISH THAT SHOULD THE PAVERS BE REMOVED THE TOWN IN IN NO WAY RESPONSIBLE FOR REPLACEMENT OF THE HARDSCAPE SYSTEM



TREE TO BE REMOVED

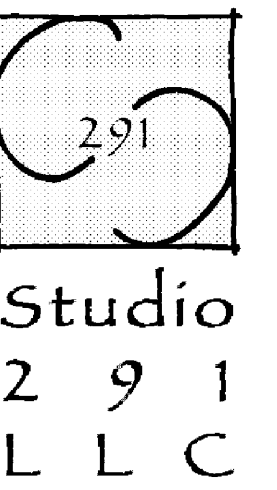
1 PREVIOUSLY APPROVED SITE PLAN  
SCALE: 1" = 10'-0"

ISSUED FOR CONSTRUCTION

OWNERS SIGNATURE: \_\_\_\_\_

CONTRACTORS SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_



295 Seven Farms Drive  
 Suite G-174  
 Charleston, South Carolina 29492  
 P. (843) 819-8947

This drawing and the design shown is the property of Studio 291, LLC. The reproduction, copying or other use of this drawing without the written consent is prohibited and any infringement will be subject to legal action.

© 2023  
 Studio 291, LLC

Project  
 Addition & Renovation @  
 1754 Central Ave., Sullivan's Island, South Carolina

Sheet Title  
 PREVIOUSLY APPROVED SITE PLAN

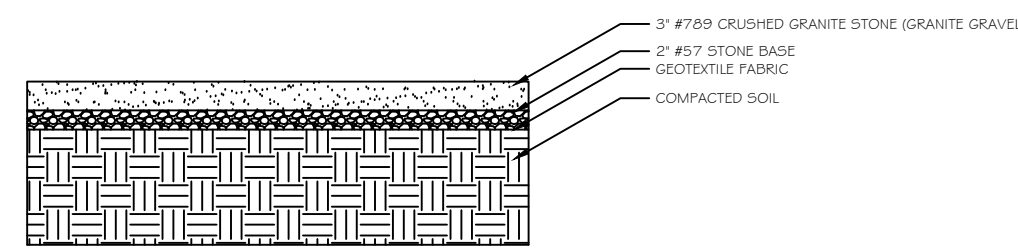
D. P. in Charge  
 J. ADRIAN  
 Job Captain  
 J. ADRIAN  
 Drawn By  
 JAA  
 Date Drawn  
 1/18/24  
 Issued for Pricing  
 X  
 Issued for Permit  
 XXX

Revisions  
 No. \_\_\_\_\_ Date \_\_\_\_\_  
 No. \_\_\_\_\_ Date \_\_\_\_\_  
 No. \_\_\_\_\_ Date \_\_\_\_\_  
 No. \_\_\_\_\_ Date \_\_\_\_\_  
 No. \_\_\_\_\_ Date \_\_\_\_\_  
 No. \_\_\_\_\_ Date \_\_\_\_\_

Issue Date XXXX

Project Number  
 22-291-888

Sheet 2 of 6  
 CI



2 DRIVEWAY SECTION  
SCALE: 1/2" = 1'-0"

LEGEND	SYMBOL
PROPERTY BOUNDARY / RIGHT-OF-WAY	
OVERHEAD POWER	
SEWER PIPE	
STORM DRAIN PIPE	
DITCH	
EXISTING CONTOUR	48.0
EXISTING ELEVATION	47.50
PIPE INVERT ELEVATION	49.07
CONCRETE	
ASPHALT	
GRAVEL	
PP	POWER POLE
RCP	REINFORCED CONCRETE PIPE
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED PLASTIC PIPE
IE	INVERT ELEVATION

PRINCIPAL BUILDING COVERAGE

TOTAL LOT AREA - 1/3 AC 16,047 SQFT  
 PRINCIPAL BUILDING COVERAGE = LOT AREA x 15%  
 PRINCIPAL BUILDING COVERAGE = 16,047 x 15%  
 PRINCIPAL BUILDING COVERAGE = 2,407 SQFT  
 PRINCIPAL BUILDING COVERAGE MAX RELIEF 20% = 481 SQFT  
 MAX. PRINCIPAL BUILDING COVERAGE 2,888 SQFT

NEED 10.7% INCREASE OR 258 SQFT  
 EXISTING HOUSE 1,290 SQFT  
 PROPOSED ADDITION 1,375 SQFT  
 PROPOSED ACCESSORY 610 SQFT  
 TOTAL BUILDING COVERAGE 3,275 SQFT

PERMITTED PRINCIPAL BUILDING AREA

TOTAL LOT AREA 1/3 AC 16,047 SQFT  
 2,400 + (LOT AREA - 5,000) / 100) X 10  
 2,400 + (16,047 - 5,000) / 100) X 10  
 2,400 + (11,047/100) X 10  
 2,400 + 110.47 X 10  
 2,400 + 1,105  
 3,505 SQFT MAX AREA  
 MAX RELIEF - 25% = 876 SQFT  
 MAX PRINCIPAL BUILDING AREA 4,381 SQFT  
 3,530 SQFT HEATED  
 INCREASE REQUIRED FOR 25 SQFT OR 0.7%

LOT COVERAGE

TOTAL LOT AREA 16,047 SQFT  
 ALLOWABLE COVERAGE @30% 4,814 SQFT  
 EXISTING HOUSE 1,290 SQFT  
 PROPOSED ADDITION 1,375 SQFT  
 EXISTING CISTERN 157 SQFT  
 EXISTING PORCHES 264 SQFT  
 PROPOSED PORCHES 494 SQFT  
 PROPOSED STAIRS 26 SQFT  
 EXISTING STAIRS 21 SQFT  
 EXISTING WALKWAY 138 SQFT  
 PROPOSED POOL 368 SQFT  
 PROPOSED POOL DECK 487 SQFT  
 TOTAL COVERAGE 4,620 SQFT  
 TOTAL COVERAGE % 28.8%  
 NOTE: THE ACCESSORY STRUCTURE IS EXEMPT FROM IMPERVIOUS COVERAGE PER SECTION 21-26B (3)

HARDSCAPE HOLD HARMLESS AGREEMENT

AUTHORIZATION OF THIS WORK IN THE SCDOT RIGHT-OF-WAY IN NO WAY IMPLIES THE ADJACENT PROPERTY OWNER(S) ABILITY TO OBSTRUCT PUBLIC PARKING, OR, INSTALL SIGNAGE TO OBSTRUCT OR PROHIBIT PARKING, OR RELOCATE EXISTING DRIVEWAYS / ACCESS WITHOUT PRIOR BUILDING DEPARTMENT APPROVAL, OR, PROHIBIT GENERAL PUBLIC USE OF THIS NEWLY ESTABLISHED SURFACE. A SIGNED WAIVER MUST BE HELD BY THE TOWN WITH THIS PERMIT TO ESTABLISH THAT SHOULD THE PAVERS BE REMOVED THE TOWN IN NO WAY RESPONSIBLE FOR REPLACEMENT OF THE HARDSCAPE SYSTEM

NATURAL VEGETATION RATIO:

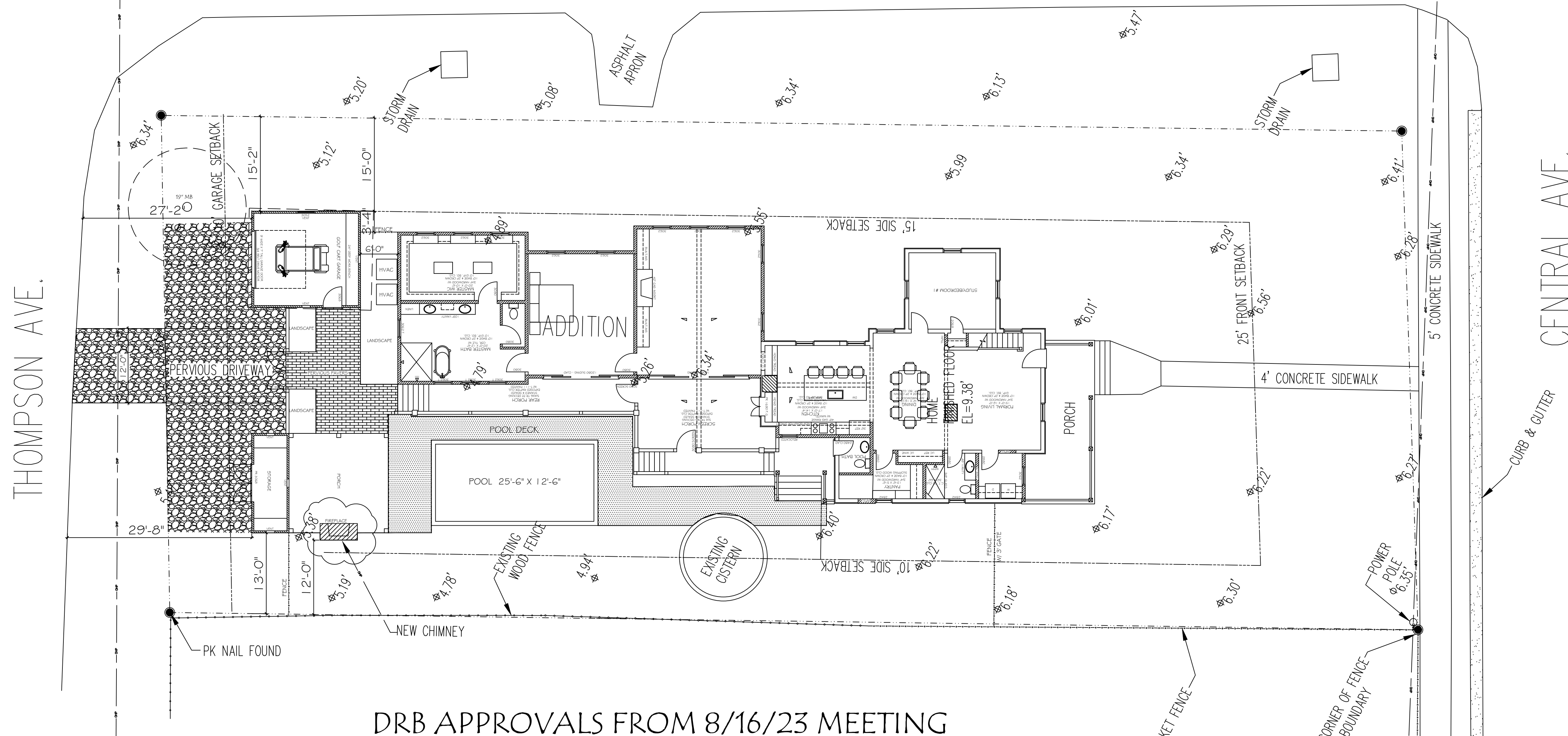
TOTAL LOT AREA = 16,047 SQFT  
 TOTAL COVERAGE PER TABLE = 4,620 SQFT  
 ADDITIONAL COVERAGE (PERVIOUS DRIVEWAY, PAVERS & GARAGE) = 1,639 SQFT  
 TOTAL LOT COVERAGE = 6,259 SQFT OR 39.0%  
 PERCENTAGE OF NATURAL VEGETATION = 61%

ADDITIONAL COVERAGE

PROPOSED ACCESSORY 623 SQFT  
 PERVIOUS DRIVEWAY 798 SQFT  
 PERVIOUS PAVERS 218 SQFT  
 TOTAL 1,639 SQFT  
 TOTAL % 10.2%

THOMPSON AVE.

CENTRAL AVE.



DRB APPROVALS FROM 8/16/23 MEETING

REDUCED DISTANCE FROM FACE OF GARAGE TO EDGE OF PAVEMENT  
 30'-0" REQUIRED, DESIGN RECEIVED APPROVAL FOR 28'-4" A REDUCTION OF 1'-8"

TREE TO BE REMOVED

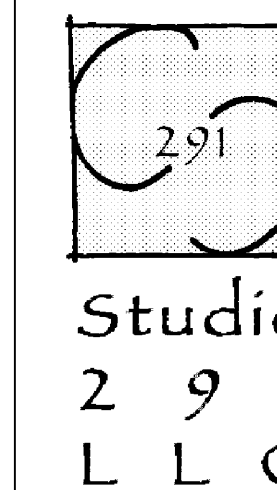
1 PROPOSED SITE PLAN  
SCALE: 1" = 10'-0"

ISSUED FOR CONSTRUCTION

OWNERS SIGNATURE: \_\_\_\_\_

CONTRACTORS SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_



295 Seven Farms Drive  
 Suite G-174  
 Charleston, South Carolina 29492  
 P. (843) 819-8947

This drawing and the design shown is the property of Studio 291, LLC. The reproduction, copying or other use of this drawing without the written consent is prohibited and any infringement will be subject to legal action.  
 © 2023  
 Studio 291, LLC

Project  
 Addition & Renovation @  
 1754 Central Ave., Sullivan's Island, South Carolina  
 Sheet Title  
 PROPOSED SITE PLAN

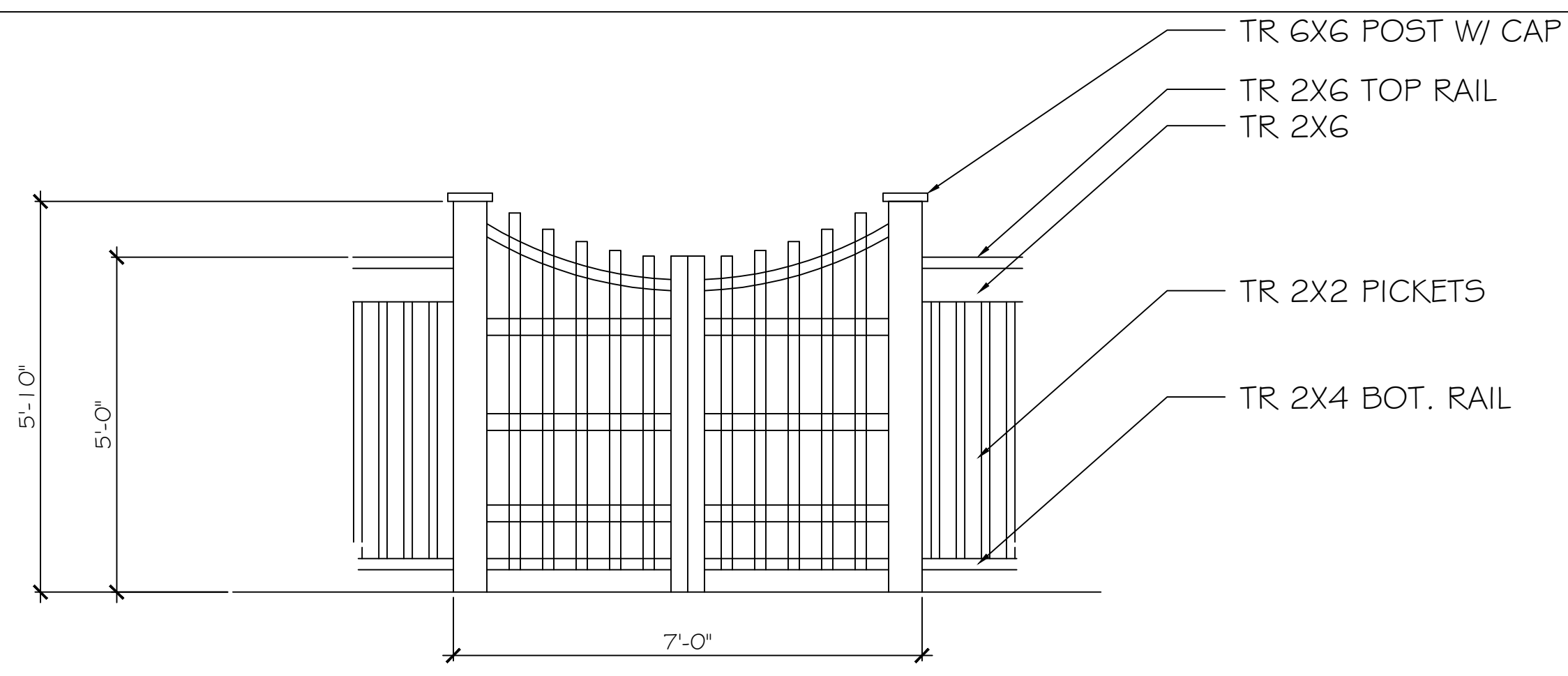
D. P. in Charge	_____
J. ADRIAN	_____
Job Captain	_____
J. ADRIAN	_____
Drawn By	_____
JAA	_____
Date Drawn	1/18/24
Issued for Pricing	X
Issued for Permit	XXXX
Revisions	
No. _____	Date _____
No. _____	Date _____
No. _____	Date _____
No. _____	Date _____
No. _____	Date _____
No. _____	Date _____
Issue Date	XXXX

Project Number  
 22-291-888

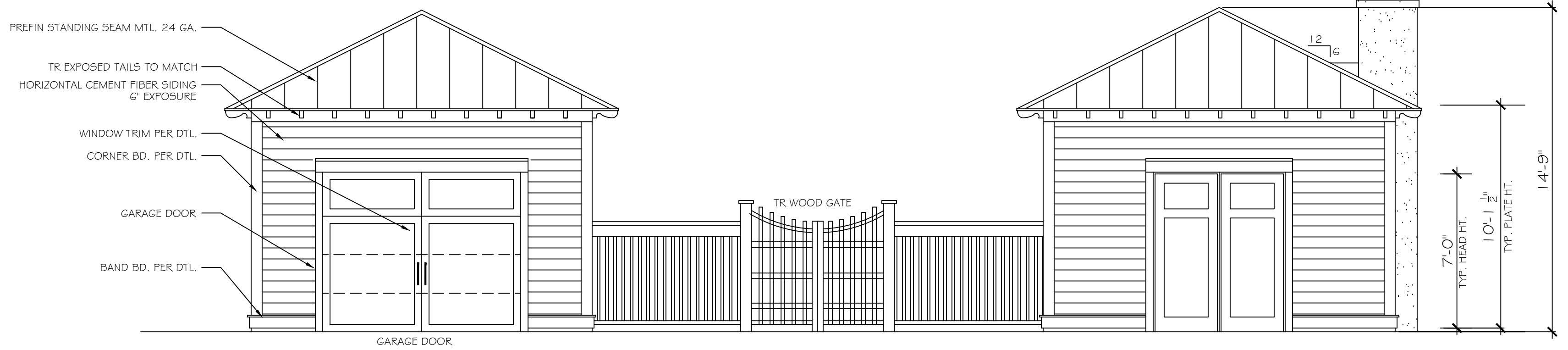
Sheet 3 of 6  
 C2

**LIGHTING / ELECTRICAL LEGEND:**

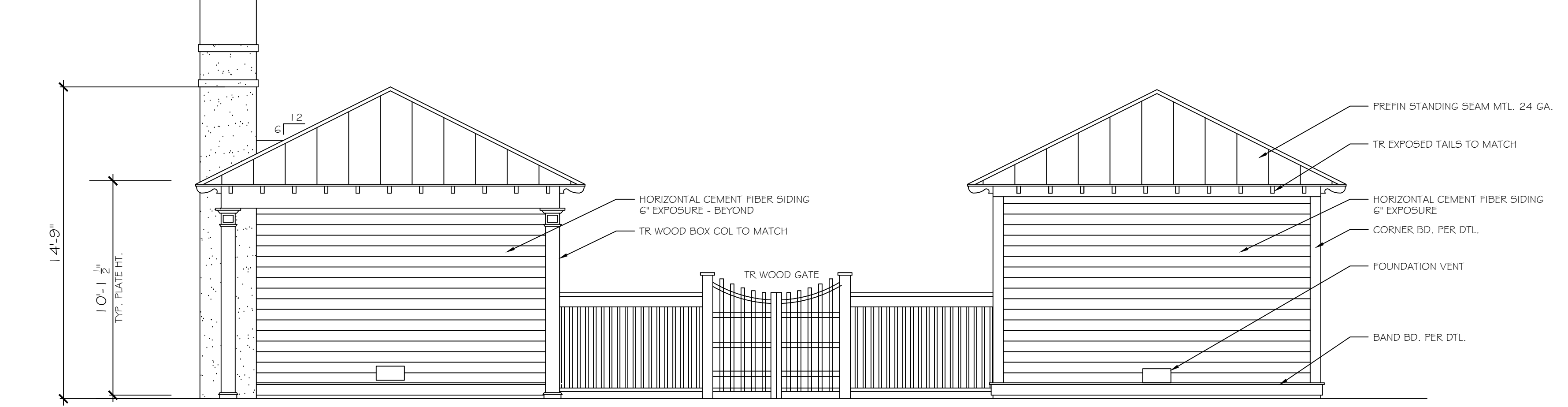
- |  |                                       |  |   |  |                     |
|--|---------------------------------------|--|---|--|---------------------|
|  | 4' DOUBLE TUBE FLUORESCENT FIXTURE    |  | DUPLEX OUTLET   |  | SINGLE PHASE SWITCH |
|  | 5" RECESSED INCANDESCENT DOWNLIGHTING |  | GROUNDING DUPLEX OUTLET                               |  | THREE WAY SWITCH    |
|  | WALL MOUNTED FIXTURE                  |  | FLOOR OUTLET - OWNER TO LOCATE                        |  | DIMMER SWITCH       |
|  | CEILING MOUNTED FIXTURE               |  | WEATHER PROOF OUTLET                                  |  | SMOKE DETECTOR      |
|  | WALL SCONCE / GAS LIGHT               |  | MOTION SENSOR FLOOD                                   | ALL OUTLETS SHALL BE MOUNTED IN THE BASE BOARD |                     |
|  | CEILING MOUNTED FAN                   |  | MULTI-MEDIA LOCATION (CABLE, SATELLITE, PHONE & DATA) |  |                     |
|  | PENDANT / CEILING MOUNTED FIXTURE     |  | TV, CABLE LOCATION                                    |  |                     |
|  | EXHAUST VENT - 100 CFM MIN.           |  | PHONE OUTLET  |  |                     |
|  | SMALL PENDANT                         |  | DATA JACK   |  |                     |



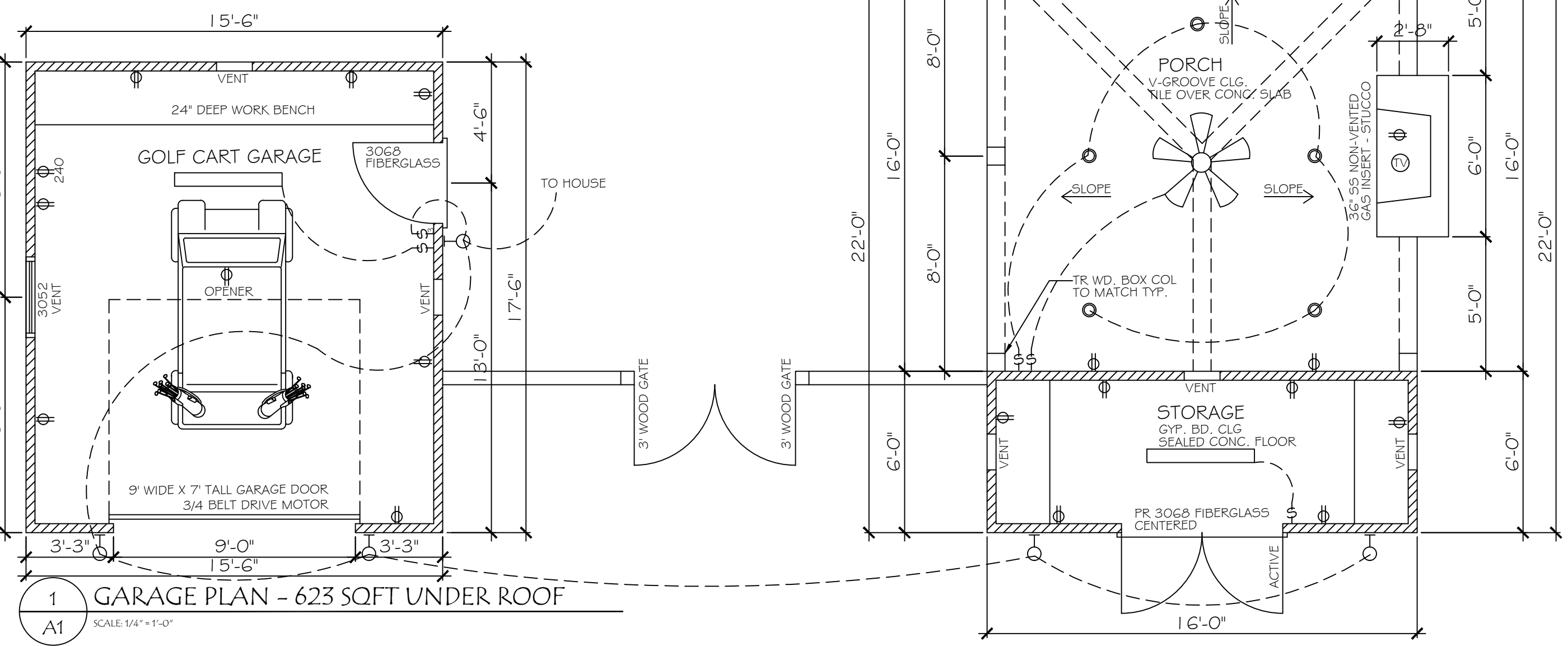
**7 DETAIL @ WOOD GATE**  
 SCALE: 1/2" = 1'-0"



**5 FRONT ELEVATION - THOMPSON AVE.**  
 SCALE: 1/4" = 1'-0"



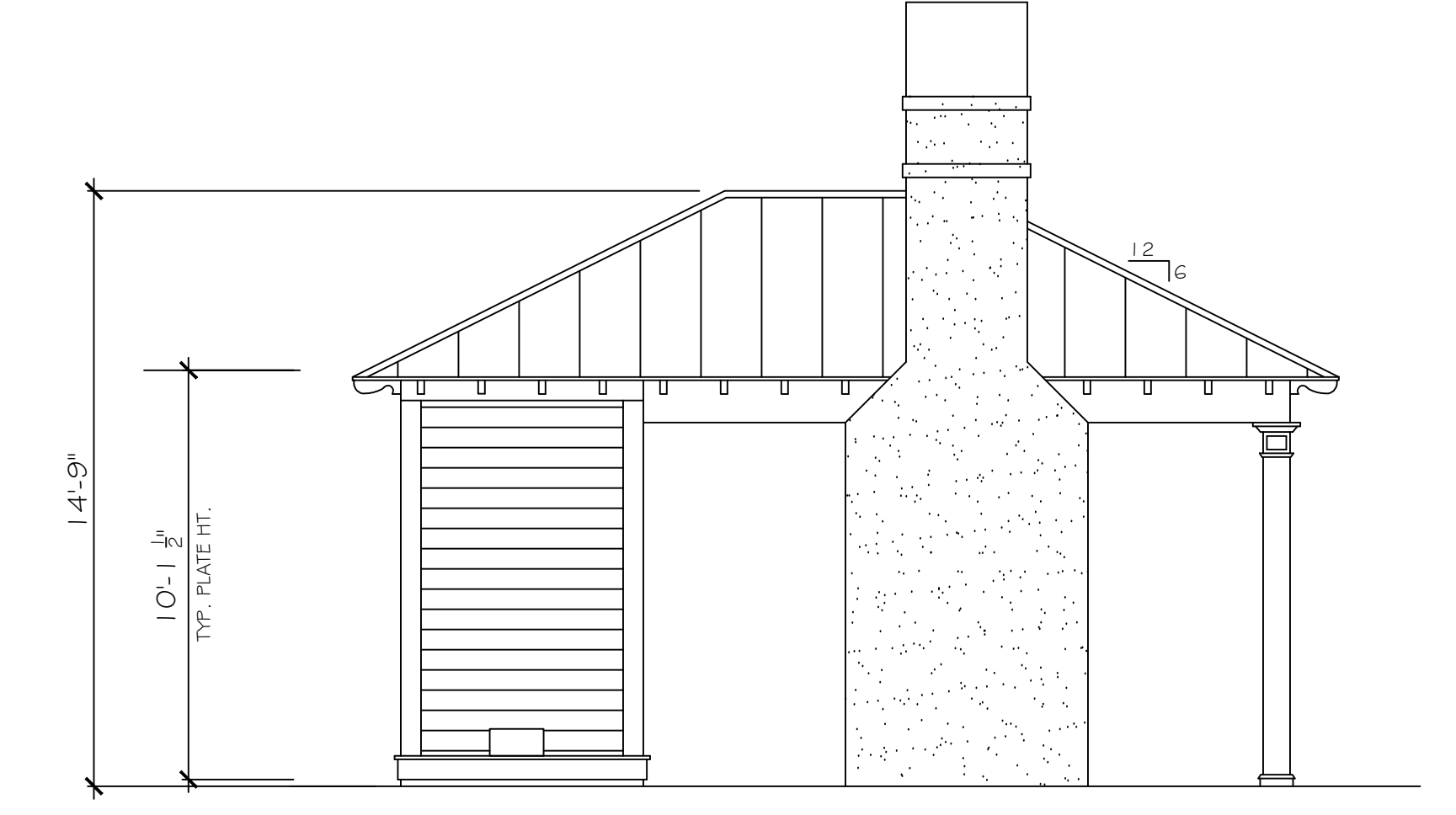
**3 REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"



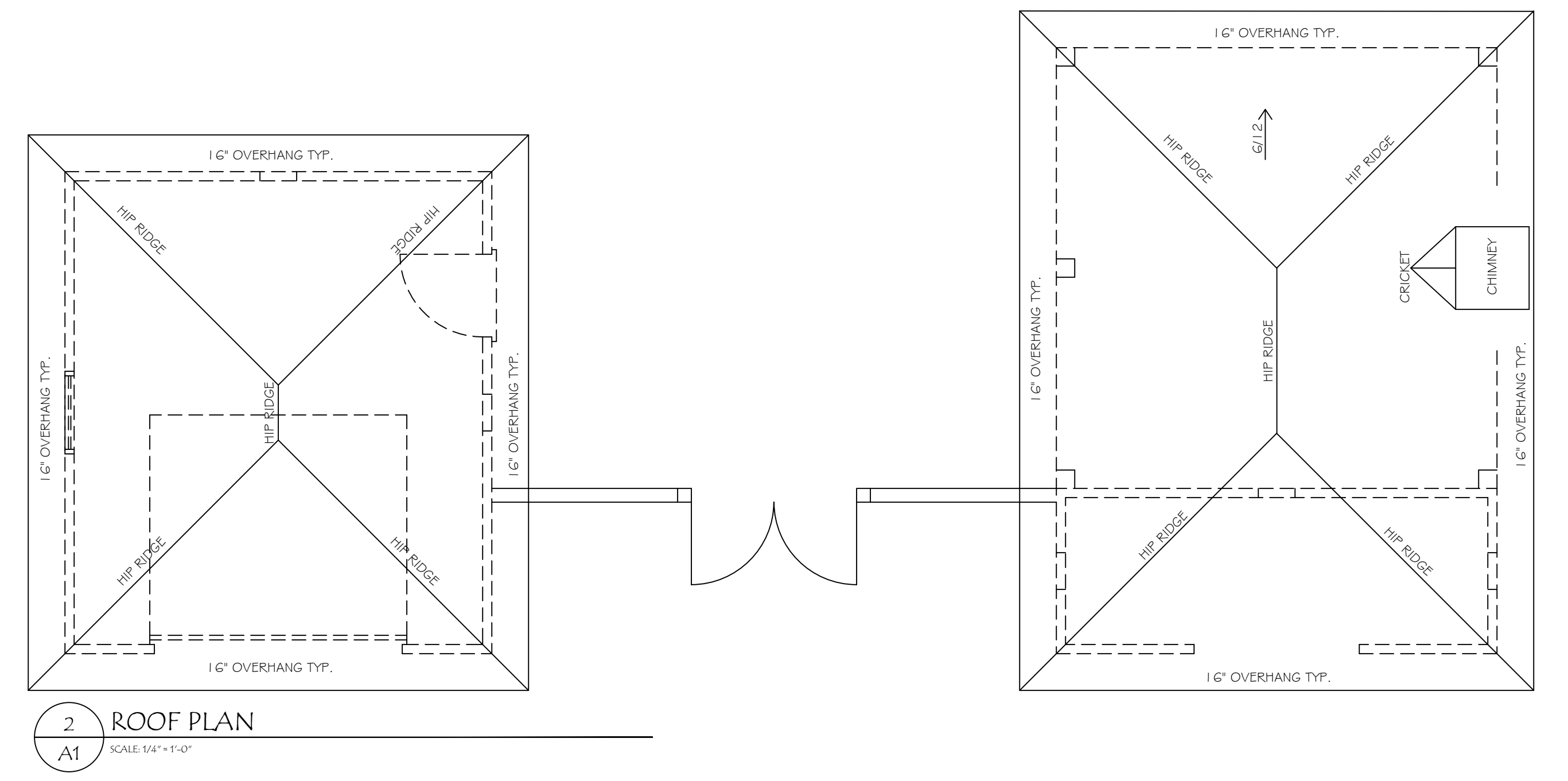
**1 GARAGE PLAN - 623 SQFT UNDER ROOF**  
 SCALE: 1/4" = 1'-0"



**6 LEFT SIDE ELEVATION - STATION 18**  
 SCALE: 1/4" = 1'-0"



**4 RIGHT SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"



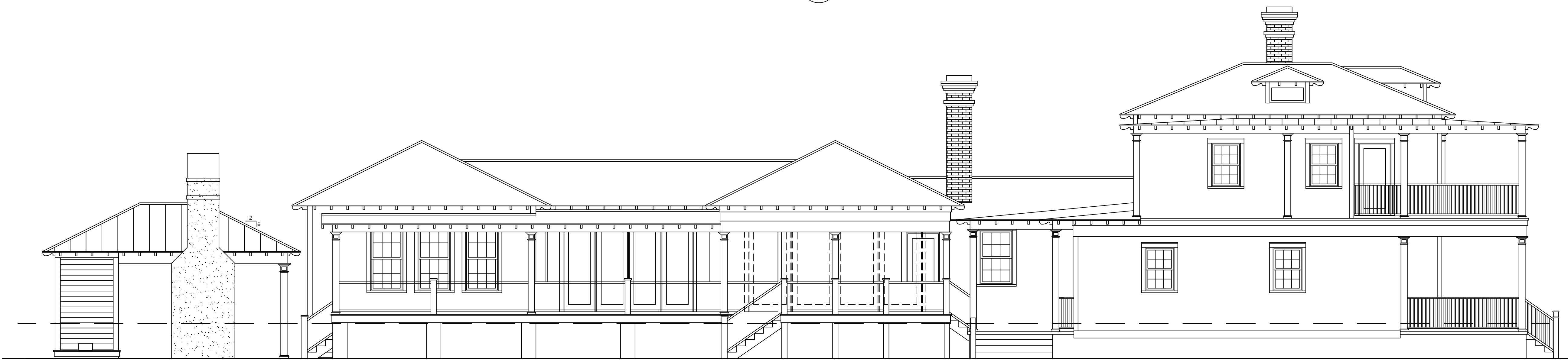
**2 ROOF PLAN**  
 SCALE: 1/4" = 1'-0"



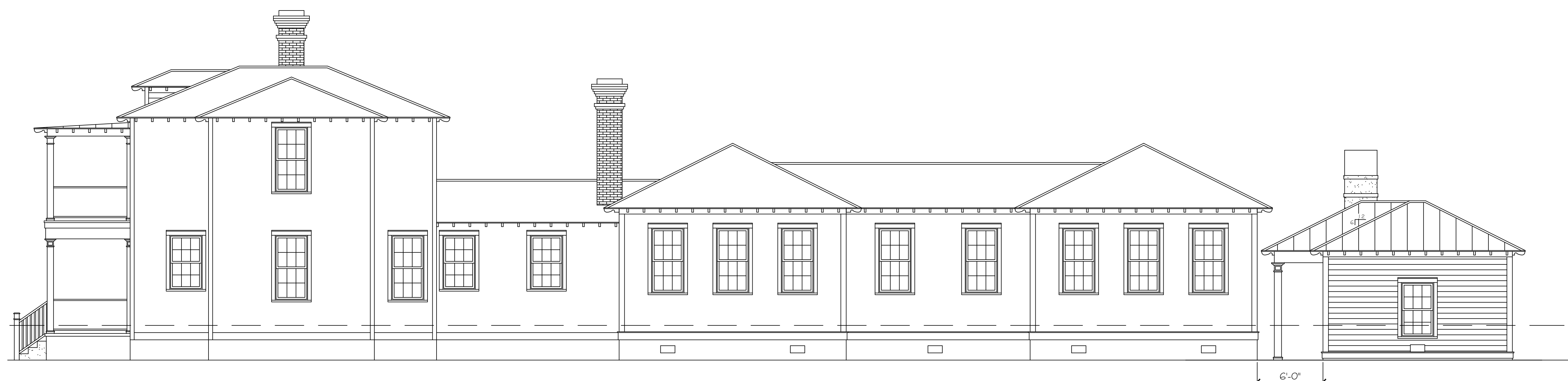
3 PROPOSED REAR ELEVATION  
 A2



4 PROPOSED FRONT ELEVATION  
 A2



2 PROPOSED LEFT SIDE ELEVATION  
 A2



1 PROPOSED RIGHT SIDE ELEVATION - STATION 18  
 A2

Project  
**Addition & Renovation @  
 1754 Central Ave., Sullivan's Island South Carolina**  
 Sheet Title  
**PROPOSED GARAGE ELEVATIONS W/ HOUSE**

D. P. in Charge  
 J. ADRIAN  
 Job Captain  
 J. ADRIAN  
 Drawn By  
 JAA  
 Date Drawn  
 1/18/24  
 Issued for Pricing  
 X  
 Issued for Permit  
 XXX  
 Revisions  
 No. Date  
 No. Date  
 No. Date  
 No. Date  
 No. Date  
 No. Date  
 Issue Date XXX

Project Number  
 22-291-888  
 Sheet 5 of 6  
 A2

1 FACING SOUTHEAST  
PI N.T.S.



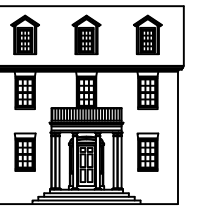
FRONT RIGHT PERSPECTIVE  
FACING SOUTHEAST FROM THOMPSON AVE.

2 FACING NORTH  
PI N.T.S.



REAR RIGHT PERSPECTIVE  
FACING NORTH FROM 1752 CENTRAL AVE.

Thompson  
Home  
Design



3245 Glenn McConnell Pkwy.  
Suite 10-1007  
Charleston, South Carolina 29414  
P: (843) 303-7914  
Ed@ThompsonHomeDesign.com

This drawing and the design shown  
is the property of Thompson Home Design,  
LLC. The reproduction, copying or other  
use of this drawing without the  
written consent is prohibited and  
any infringement will be subject to  
legal action.

© 2025  
Thompson Home Design, LLC

Project  
Proposed Fireplace & Chimney @ Porch  
1754 Central Ave., Sullivan's Island, SC 29482

Sheet Title  
PERSPECTIVES: PAGE 1

D. P. in Charge  
E. THOMPSON  
Job Captain  
E. THOMPSON  
Drawn By  
ERT  
Date Drawn  
02/14/2025  
Issued for Pricing

Issued for Permit

Revisions

No.	Date

Issue Date

Project Number  
25-303-008

Sheet 1 of 3  
PI

1 FACING NORTHWEST  
P2 NTS



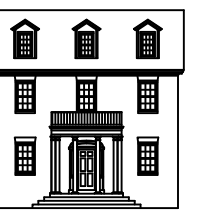
REAR PERSPECTIVE  
FACING NORTHWEST FROM CENTRAL AVE.

2 FACING SOUTHWEST  
P2 NTS



LEFT SIDE PERSPECTIVE  
FACING SOUTHWEST FROM STATION 18

Thompson  
Home  
Design



3345 Glenn McConnell Pkwy.  
Date: 10-1-007  
Charleston, South Carolina 29414  
P: (843) 303-7014  
Ed@ThompsonHomeDesign.com

This drawing and the design shown is the property of Thompson Home Design, LLC. The reproduction, copying or other use of this drawing without the written consent is prohibited and any infringement will be subject to legal action.

© 2025  
Thompson Home Design, LLC

Project  
Proposed Fireplace & Chimney @ Porch  
1754 Central Ave., Sullivan's Island, SC 29482

Sheet Title  
PERSPECTIVES: PAGE 2

D. P. in Charge  
E. THOMPSON  
Job Captain  
E. THOMPSON  
Drawn By  
ERT  
Date Drawn  
02/14/2025  
Issued for Pricing

Issued for Permit

Revisions	
No.	Date

Issue Date

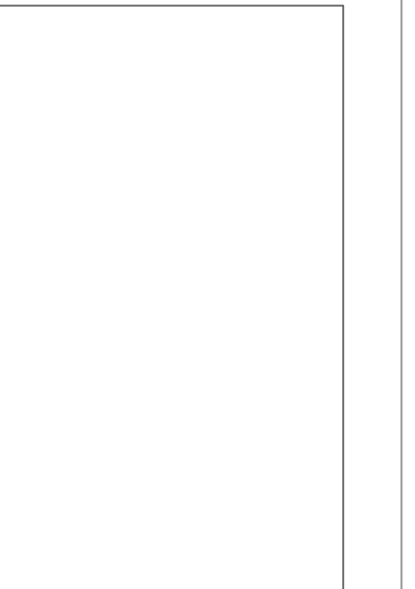
Project Number  
25-303-008

Sheet 2 of 3  
P2



This drawing and the design shown  
is the property of Thompson Home Design,  
LLC. The reproduction, copying or other  
use of this drawing without the  
written consent is prohibited and  
any infringement will be subject to  
legal action.

© 2025  
Thompson Home Design, LLC



Project  
Proposed Fireplace & Chimney @ Porch  
1754 Central Ave., Sullivan's Island, SC 29482  
Sheet Title  
PERSPECTIVES: PAGE 3

D. P. in Charge  
E. THOMPSON  
Job Captain  
E. THOMPSON  
Drawn By  
ERT  
Date Drawn  
02/14/2025  
Issued for Pricing

Issued for Permit

Revisions

No.	Date
No.	Date
No.	Date
No.	Date
No.	Date
No.	Date

Issue Date

Project Number  
25-303-008

Sheet 3 of 3  
P3

1 FACING SOUTH  
P3 NTS



FRONT LEFT PERSPECTIVE  
FACING SOUTH FROM THOMPSON AVE.